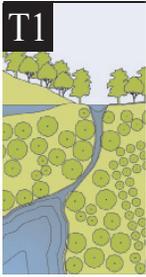
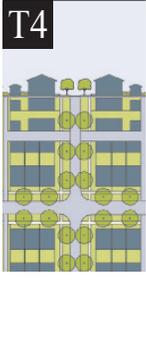
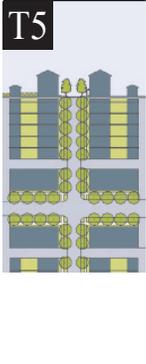


Section 3 PURPOSE

The purpose of this section is to enable and encourage the implementation of the following policies with the expansion of Transect Zones throughout the Town:

- Future development in neighborhoods and regional centers shall be compact, pedestrian-oriented and mixed-use;
- Ordinary activities of daily living should occur within walking distance of most dwellings, allowing independence to those who do not drive;
- Interconnected networks of streets should be designed to disperse traffic and reduce the length of automobile trips;
- Within neighborhoods, a range of housing types and price levels should be provided to accommodate diverse ages and incomes;
- Civic, institutional and commercial activity should be embedded in downtowns, not isolated in remote single-use complexes;
- Schools should be sized and located to enable children to walk or bicycle to them;
- A range of open space including parks, squares and playgrounds should be distributed between neighborhoods.

Table 3.1 Transect Descriptions

| | | |
|-------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  <p>T1</p> | <p>T-1 NATURAL T-1 Natural Zone consists of lands approximating or reverting to a wilderness condition, including lands unsuitable for settlement due to topography, hydrology or vegetation.</p> | <p>General Character: Natural landscape with some agricultural use Building Placement: Not applicable Frontage Types: Not applicable Typical Building Height: Not applicable Type of Civic Space: Parks, Greenways</p> |
|  <p>T2</p> | <p>T-2 RURAL T-2 Rural Zone consists of sparsely settled lands in open or cultivated states. These include woodland, agricultural land, grassland, and irrigable desert. Typical buildings are farmhouses, agricultural buildings, cabins, and villas.</p> | <p>General Character: Primarily agricultural with woodland & wetland and scattered buildings Building Placement: Variable Setbacks Frontage Types: Not applicable Typical Building Height: 1- to 2-Story Type of Civic Space: Parks, Greenways</p> |
|  <p>T3 <small>T3.5</small></p> | <p>T-3 & T3.5 SUB-URBAN T-3 & T3.5 Sub-Urban Zone consists of low density residential areas, adjacent to higher zones that some mixed use. Home occupations and outbuildings are allowed. Planting is naturalistic and setbacks are relatively deep. Blocks may be large and the roads irregular to accommodate natural conditions.</p> | <p>General Character: Lawns, and landscaped yards surrounding detached single-family houses; pedestrians occasionally Building Placement: Large and variable front and side yard Setbacks Frontage Types: Porches, fences, naturalistic tree planting Typical Building Height: 1- to 2-Story with some 3-Story Type of Civic Space: Parks, Greenways</p> |
|  <p>T4</p> | <p>T-4 GENERAL URBAN T-4 General Urban Zone consists of a mixed use but primarily residential urban fabric. It may have a wide range of building types: single, sideyard, and row-houses. Setbacks and landscaping are variable. Streets with curbs and sidewalks define medium-sized blocks.</p> | <p>General Character: Mix of Houses, Townhouses & small Apartment buildings, with scattered Commercial activity; balance between landscape and buildings; presence of pedestrians Building Placement: Shallow to medium front and side yard Setbacks Frontage Types: Porches, fences, Dooryards Typical Building Height: 2- to 3-Story Type of Civic Space: Squares, Greens</p> |
|  <p>T5</p> | <p>T-5 URBAN CENTER T-5 Urban Center Zone consists of higher density mixed use building that accommodate retail, offices, rowhouses and apartments. It has a tight network of streets, with wide sidewalks, steady street tree planting and buildings set close to the sidewalks.</p> | <p>General Character: Shops mixed with Townhouses, larger Apartment houses, Offices, workplace, and Civic buildings; predominantly attached buildings; trees within the public right-of-way; substantial pedestrian activity Building Placement: Shallow Setbacks or none; buildings oriented to street defining a street wall Frontage Types: Stoops, Shopfronts, Galleries Typical Building Height: 3- to 5-Story with some variation Type of Civic Space: Parks, Plazas and Squares, median landscaping</p> |

Section 3.1 BUILDING LOCATION

3.1.1 Specific to zones T1, T2, T3, T3.5, T4, T5

- a. Buildings in the T1 Zone are not permitted.
- b. Newly platted lots shall be dimensioned according to **Table 3.4** and relevant transect tables.
- c. One principal building at the frontage, and one outbuilding to the rear of the principal building, may be built on each lot as provided for in these Regulations.
- d. Facades shall be built parallel to the street, as specified on **Table 3.4** and relevant transect tables. Setbacks for principal buildings shall be as shown in **Table 3.4** and relevant transect tables. In the case of an infill lot, setbacks shall match one of the existing adjacent setbacks.
- e. Rear setbacks for outbuildings shall be a minimum of 12 feet measured from the centerline of the Rear Alley or Rear Lane easement. In the absence of a rear alley or rear lane, the rear yard setback shall be 5 feet from the rear property line.

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| T1 |
| T2 |
| T3 |
| T3.5 |
| T4 |
| T5 |

Section 3.2 BUILDING MASSING

3.2.1 General to zones T2, T3, T3.5, T4, T5

- a. Buildings on corner lots shall have two private frontages as shown in **Table 17**. Requirements for the second and third layers pertain only to the principal frontage. Requirements for the first layer pertain to both frontages.
- b. The first story of all facades shall be glazed with clear glass no less than 30% and shall be at least 70% if a shopfront.
- c. Building heights and expression lines shall conform to **Table 8** and **Table 3.4**.
- d. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor commercial use, which shall be a minimum of 11 feet and may be a maximum of 25 feet. A single floor level exceeding 14 feet shall be counted as two (2) stories. Mezzanines extending beyond 33% of the floor area below shall be counted as an additional story.
- e. In a parking structure or garage, each level counts as a single story regardless of its relationship to habitable stories.
- f. Height limits may be increased by 15 feet for non-habitable spaces such as masts, chimney flues, water tanks, or elevator bulkheads.
- g. A spire, tower or belfry on a religious institution, or public building may exceed the height limitations of the underlying zone, but shall not:
 - i. Exceed the allowed height by more than 50 feet;
 - ii. Exceed 10% of the roof area.
- h. Building heights in T3 or T4 zones shall not exceed 38 feet.
- i. Building heights in T5 zones shall not exceed 60 feet.
- j. All rooftop mechanical units shall be screened from view from the ground and adjacent buildings of equal or lower height.

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| T2 |
| T3 |
| T3.5 |
| T4 |
| T5 |

3.2.2 Specific to zones T2, T3, T3.5, T4, T5

- a. Impervious coverage by outbuildings may not exceed 440 sq ft.

3.2.3 Specific to zone T3, T3.5,

- a. No portion of the private frontage may encroach on the sidewalk.
- b. Open porches may encroach on the first layer by 50% of its depth.
- c. Balconies and bay windows may encroach on the first layer by 25% of its depth.

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| T2 |
| T3 |
| T3.5 |
| T4 |
| T5 |

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| T3 |
| T3.5 |
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3.2.4 Specific to zone T4

a. Balconies, open porches and bay windows may encroach on the first layer by 50% of its depth.

3.2.5 Specific to zones T5

- a. Awnings, arcades, and galleries may encroach on the sidewalk to within 2 feet of the curb but must clear the sidewalk vertically by at least 8 feet and shall not exceed 14 feet (**in height or width???**).
- b. Stoops, lightwells, balconies, bay windows, and terraces may encroach on the first layer 100% of its depth.
- c. Loading docks and service areas shall not be permitted in first layer.
- d. In the absence of a building facade along any part of a frontage line, a streetscreen shall be built in the same plane as the facade.
- e. Streetscreens should be between 3.5 and 8 feet in height. The streetscreen may be replaced by a hedge or fence. Streetscreens shall have openings no larger than necessary to allow for pedestrian and one-way automobile access.
- f. First floor residential or lodging use shall be raised a minimum of 2 feet from the average sidewalk grade.

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| T4 |
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| T5 |

Section 3.3 SPECIAL REQUIREMENTS

Unless otherwise approved by the Commission the following special requirements in a Transect Zone or Special District may be required:

Shopfront: A building that provides a shopfront at sidewalk level along the entire length of its private frontage with an openable door provided on average every 30' along the frontage. The shopfront shall be no less than 70% glazed in clear glass and shaded by an awning overlapping the Sidewalk as generally illustrated in **Table 3.2** and specified in **Article 4**. The first floor shall be confined to retail use for a minimum depth of 20 feet from the frontage line within the first story. Lobbies for hotels, offices and multiple family dwellings may be considered as part of the required retail frontage provided that any such lobby occupies no more than 50% of said building.

Gallery Frontage, Arcade Frontage, Terminated Vista Locations, Cross Block Passages or some combination of the above.

Section 3.4 BUILDING USE

See **TABLE 7.1**

3.4.1 Zones T2, T3, T3.5, T4, T5

- a. Building uses in each Transect Zone shall conform to the uses on **Table 3.1**.
- b. Accessory uses of lodging or office shall be permitted within an outbuilding. See **Table 3.1**.

3.4.2 Specific to zones T5

- a. First story commercial uses shall be permitted.
- b. Manufacturing uses within the first story may be permitted by Special Permit.

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| T2 |
| T3 |
| T3.5 |
| T4 |
| T5 |
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| T5 |

Section 3.5 PARKING AND DENSITY CALCULATIONS

3.5.1 Specific to zones T2, T3, T3.5

a. Density on a lot shall be determined by the actual parking provided within the lot as applied to the uses permitted in **Table 7.1**.

3.5.2 Specific to zones T4, T5

- a. Density on a lot shall be determined by the availability of effective parking. Such parking shall be provided:
- Within the lot;
 - Along the parking lane corresponding to the lot frontage, and;
 - By purchase or lease for 25 years from a parking lot within 300 feet;
 - In a public parking garage available within 300 feet.
- b. Parking requirements may be adjusted according to the shared parking factor of Table 3.3 to determine the effective parking. The shared parking factor is available for any combination of uses within any pair of adjacent blocks.
- c. Based on the effective parking available, the density of the projected use may be determined according to Table 3.2 and Table 3.3.
- d. Within a Transit-Oriented Development (TOD) the effective parking may be further reduced by 30%.
- e. Liner buildings that are less than 30 feet deep and no more than two stories shall be exempt from parking requirements.

3.5.3 Specific to zones T2, T3, T3.5, T4 & T5

Parking calculations: The required parking table summarizes the parking requirement for each use by Transect Zone. Conversely, this table enables the calculation of building allowed on each site given the parking available. To use the shared parking factor, divide the number of required parking spaces by the sharing factor to find the reduced number of spaces required.

Table 3.2 Required Parking in Transect Zones

| Table 3.2 Required Parking in Transect Zones | | | |
|----------------------------------------------|-------------------------------------------------|---------------------|---------------------|
| | T2 & T3, T3.5 | T4 | T5 |
| Residential | 2.0 / dwelling unit | 1.5 / dwelling unit | 1.0 / dwelling unit |
| Lodging | 1.0 / dwelling unit | 1.0 / dwelling unit | 1.0 / dwelling unit |
| Office | 3.0 / 1,000 sq. ft. | 3.0 / 1,000 sq. ft. | 2.0 / 1,000 sq. ft. |
| Retail | 4.0 / 1,000 sq. ft. | 4.0 / 1,000 sq. ft. | 3.0 / 1,000 sq. ft. |
| Civic | ^a To be determined by the Commission | | |
| Other | ^a To be determined by the Commission | | |

^a The Commission shall use **Table 5.3** as a guide when determining required parking

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| T2 |
| T3 |
| T3.5 |
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| T4 |
| T5 |

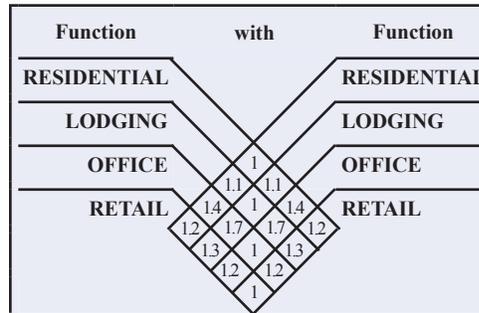
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| T2 |
| T3 |
| T3.5 |
| T4 |
| T5 |

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| T2 |
| T3 |
| T3.5 |
| T4 |
| T5 |

Table 3.3 Shared Parking Factor

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| <p>Example: T-4 Zone, Mixed-use building with 10,000 sf of office and 20 dwelling units.</p> <p>Office: 10,000 sf x 3 spaces / 1,000 sf = 30 spaces</p> <p>Residential: 20 dwelling units x 1.5 spaces / dwelling = 30 spaces</p> <p><i>Sub-Total:</i> 30 spaces + 30 spaces = 60 required spaces</p> <p>TOTAL: 60 required spaces / 1.4 sharing factor = 43 effective spaces</p> <p>Bicycle Parking Stalls: 43 effective spaces x 1 stall / 10 effective spaces <i>Sub-total</i> = 4.3 bicycle stalls TOTAL = 5 bicycle stalls</p> <hr/> <p>Projects meeting the requirements of a TOD: 43 effective spaces x 30% reduction factor = 13 effective spaces + 2.0 bicycle stalls</p> |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

SHARED PARKING FACTOR



Section 3.6 PARKING LOCATION and ROADWAY STANDARDS

3.6.1 General to zones T2, T3, T3.5, T4, T5

- a. Where possible, parking shall be accessed by rear alleys or rear lanes.
- b. Surface parking lots shall be masked from the frontage by a building or streetscreen.

3.6.2 Specific to zones T2, T3, T3.5,

- a. Surface parking lots shall be located in the second and third lot layers, however, driveways, drop-offs and unpaved parking areas may be located in the first lot layer.
- b. Garages shall be located in the third layer, however, side- or rear-entry garages may be allowed in the first or second layer by Special Permit.

3.6.3 Specific to zones T3, T3.5, T4

- a. Driveways at frontages of residential uses shall be no wider than 12 feet in the first layer. **(Table 3B-f)**
- b. Driveways at frontages of mixed-use and/or non-residential uses shall be no wider than 18 feet in the first layer.

3.6.4 Specific to zone T4

- a. All parking areas and garages shall be located in the **second** or third layer.
- b. A minimum of one bicycle rack place shall be provided within the public or private frontage for every ten vehicular parking spaces.

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| T2 |
| T3 |
| T3.5 |
| T4 |
| T5 |
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| T2 |
| T3 |
| T3.5 |
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| |
| T3 |
| T3.5 |
| T4 |
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| T4 |
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3.6.5 Specific to zones T5

- a. All parking lots, garages, and parking structures shall be located in the **second** or third layer.
- b. Vehicular entrances to parking lots, garages, and parking structures shall be no wider than 30 feet at the frontage. **(Table 3B-f)**
- c. Pedestrian exits from all parking lots, garages, and parking structures shall be directly to a frontage line (i.e., not directly into a building) except underground levels that may be exited by pedestrians directly into a building.
- d. A minimum of one bicycle rack place shall be provided within the public or private frontage for every ten vehicular parking spaces.

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| T5 |

| Table 3.4 Roadway Summary for Transsect Zones | | | | | | | |
|-----------------------------------------------|--------------------------|----|----|----|------|----|----|
| Design Speed | Travel Lane Width | T1 | T2 | T3 | T3.5 | T4 | T5 |
| Below 20 mph | 8 feet | • | • | • | • | • | |
| 20-25 mph | 9 feet | • | • | • | • | • | • |
| 25-35 mph | 10 feet | • | • | • | • | • | • |
| 25-35 mph | 11 feet | • | • | | | | • |
| Above 35 mph | 12 feet | • | • | | | | • |
| | | | | | | | |
| Design Speed | Parking Lane Width | | | | | | |
| 20-25 mph | (Angle) 18 ft | | | | | | • |
| 20-25 mph | (Parallel) 7 ft | | | | | • | |
| 25-35 mph | (Parallel) 8 ft | | | • | • | • | • |
| Above 35 mph | (Parallel) 9 ft | | | | | | • |
| | | | | | | | |
| Design Speed | Effective Turning Radius | | | | | | |
| Below 20 mph | 5-10 ft | | | • | • | • | • |
| 20-25 mph | 10-15 ft | • | • | • | • | • | • |
| 25-35 mph | 15-20 ft | • | • | • | • | • | • |
| Above 35 mph | 20-30 ft | • | • | | | | • |

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|------|
| T1 |
| T2 |
| T3 |
| T3.5 |
| T4 |
| T5 |

Section 3.7 LANDSCAPE STANDARDS

3.7.1 Specific to zones T2, T3, T3.5, T4

The first layer may not be paved, except for driveways as specified in **Section 3.10.2 and Section 3.10.3. (ALLOW FOR PAVING FOR SIDEWALK CAFE)**

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| |
| T2 |
| T3 |
| T3.5 |
| T4 |
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3.7.3 Specific to zone T3, T3.5

- a. A minimum of two trees shall be planted within the first layer for each 30 feet of frontage line or portion thereof.
- b. Trees may be of single or multiple species as shown on **Table 6**.
- c. Trees shall be naturalistically clustered.

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| |
| T3 |
| T3.5 |
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3. 7.4 Specific to zone T4

- a. A minimum of one tree shall be planted within the first layer for each 30 feet of frontage line or portion thereof.
- b. Trees shall be a single species to match the species of street trees on the public frontage, or as shown on **Table 6**.

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| |
| T4 |
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3. 7.5 Specific to zones T5

- a. Trees shall not be required in the first layer.
- b. The first layer may be paved to match the pavement of the public frontage.

Are there landscaping requirements for 2nd & 3rd layers?

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| T5 |

Section 3.8 SIGNAGE STANDARDS

3.8.1 General to zones T2, T3, T3.5, T4, T5

- a. There shall be no signage permitted additional to that specified in this section.
- b. The address number, no more than 6 inches measured vertically, shall be attached to the building in proximity to the principal entrance or at a mailbox.

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| T2 |
| T3 |
| T3.5 |
| T4 |
| T5 |

3. 8.2 Specific to zones T2, T3, T3.5

Signage shall not be illuminated.

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| T2 |
| T3 |
| T3.5 |
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3. 8.3 Specific to zones T4, T5

Signage shall be externally illuminated, except that signage within the shopfront glazing may be neon lit.

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| |
| T4 |
| T5 |

3. 8.4 Specific to zones T2, T3, T3.5, T4

One blade sign for each business may be permanently installed perpendicular to the facade within the first layer. Such a sign shall not exceed a total of 4 square feet and shall clear 8 feet above the sidewalk.

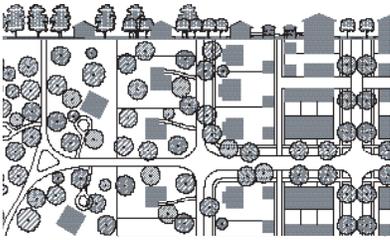
| |
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| |
| T2 |
| T3 |
| T3.5 |
| T4 |
| |

3. 8.5 Specific to zones T5

- a. Blade signs, not to exceed 6 square ft. for each separate business entrance, may be attached to and should be perpendicular to the facade, and shall clear 8 feet above the sidewalk.
- b. A single external permanent sign band may be applied to the facade of each building, providing that such sign not exceed 3 feet in height by any length.

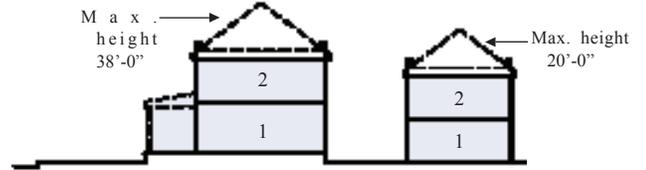
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| |
| T5 |

T3 T3.5



BUILDING HEIGHT

1. Building height shall be measured in number of feet, excluding Attics.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 feet with a maximum of 25 feet.
3. Height shall be measured to the eave or roof deck.



BUILDING HEIGHT

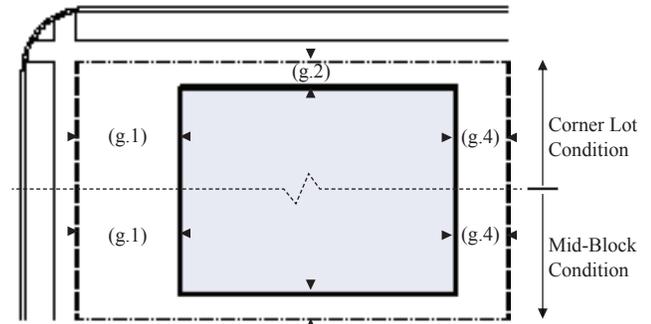
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|--------------------|---------------------------|
| Principal Building | 2 stories max./38'-0"max. |
| Outbuilding | 2 stories max./20'-0"max. |

BUILDING LOCATION

| | |
|-----------|---------------|
| Edgeyard | permitted |
| Sideyard | not permitted |
| Rearyard | not permitted |
| Courtyard | not permitted |

SETBACKS - PRINCIPAL BLDG

1. The facades and elevations of principal buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the principal frontage to the minimum specified width in the table.

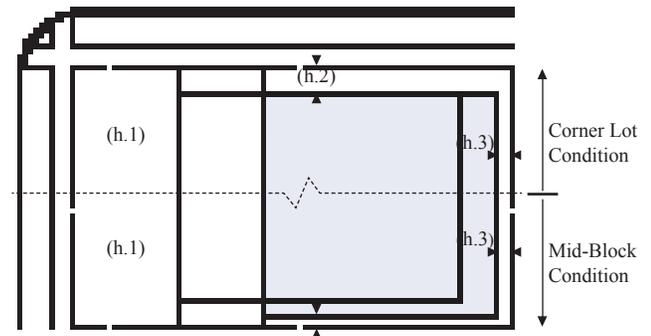


SETBACKS - PRINCIPAL BUILDING

| | |
|-------------------------------|--------------------|
| (g.1) Front Setback Principal | 24 ft. min |
| (g.2) Front Setback Secondary | 12 ft min. |
| (g.3) Side Setback | 12 ft min. |
| (g.4) Rear Setback | 24 ft min. |
| Frontage Buildout | 40% min at setback |

SETBACKS-OUTBUILDING

1. The elevation of the outbuilding shall be distanced from the lot lines as shown.



SETBACKS - OUTBUILDING

| | |
|---------------------|----------------------------|
| (h.1) Front Setback | 20 ft. min. + bldg setback |
| (h.2) Side Setback | 3 ft. |
| (h.3) Rear Setback | 3 ft. min |

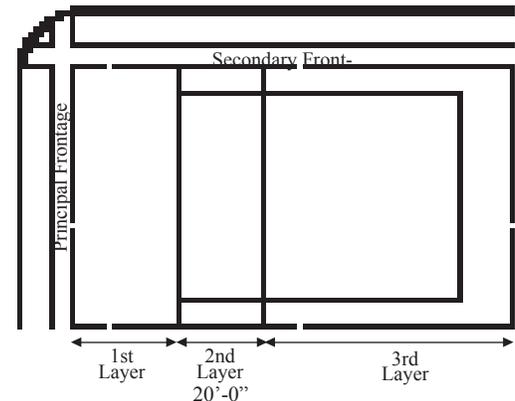
PRIVATE FRONTAGES

| | |
|--------------------|---------------|
| Common Lawn | permitted |
| Porch & Fence | permitted |
| Terrace or L.C. | not permitted |
| Forecourt | not permitted |
| Stoop | not permitted |
| Shopfront & Awning | not permitted |
| Gallery | not permitted |
| Arcade | not permitted |

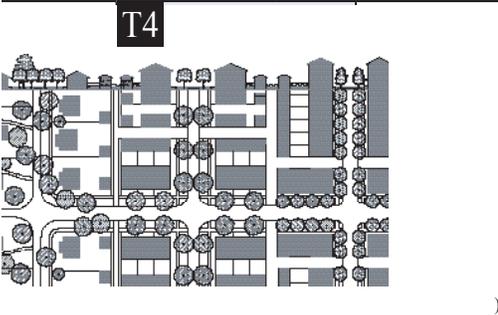
*or 15 ft. from center line of alley

PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the second and third layer as shown in the diagram.
2. Covered parking shall be provided within the 3rd layer as shown in the diagram.
3. Trash containers shall be stored within the third Layer.



FORM-BASED CODE GRAPHICS - T4



| BUILDING HEIGHT | |
|--------------------|-----------------------------|
| Principal Building | 3 stories max, 2 min 38'-0" |
| Outbuilding | 2 stories max. |

| BUILDING LOCATION | |
|-------------------|---------------|
| Edgeward | permitted |
| Sideward | permitted |
| Reward | permitted |
| Courtyard | not permitted |

| SETBACKS - PRINCIPAL BUILDING | |
|-------------------------------|------------------------|
| (g1) Front Setback Principal | 6 ft. min. 18 ft. max. |
| (g2) Front Setback Secondary | 6 ft. min. 18 ft. max. |
| (g3) Side Setback | 10 ft. min. |
| (g4) Rear Setback | 3 ft. min.* |
| Frontage Buildout | 60% min at setback |

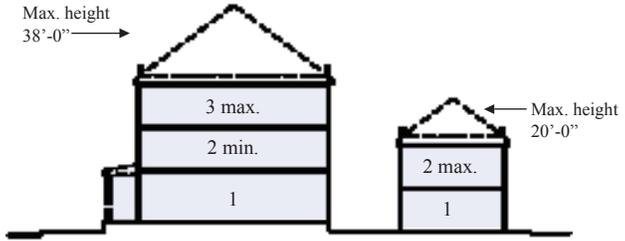
| SETBACKS - OUTBUILDING | |
|------------------------|-------------------------------|
| (h1) Front Setback | 20 ft. min. + bldg. setback |
| (h2) Side Setback | 10 ft. min. or 3 ft at corner |
| (h3) Rear Setback | 3 ft. min |

| PRIVATE FRONTAGES | |
|--------------------|---------------|
| Common Lawn | not permitted |
| Porch & Fence | permitted |
| Terrace or L.C. | permitted |
| Forecourt | permitted |
| Stoop | permitted |
| Shopfront & Awning | permitted |
| Gallery | permitted |
| Arcade | not permitted |

*or 15 ft. from center line of alley
 "N" stands for any Stories above those shown, up to the maximum.
 Refer to metrics for exact minimums and maximums

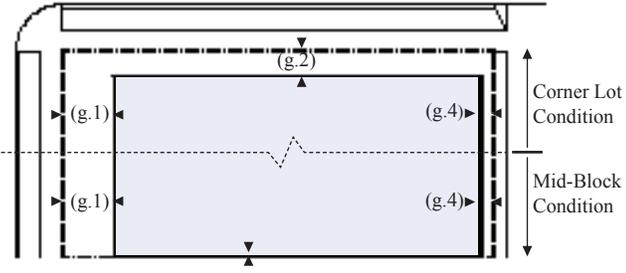
BUILDING HEIGHT

1. Building height shall be measured in number of feet, excluding Attics.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with a maximum of 25 ft.
3. Height shall be measured to the eave or roof deck.



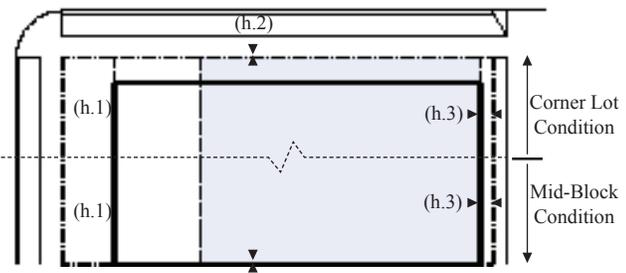
SETBACKS - PRINCIPAL BLDG

1. The facades and elevations of principal buildings shall be distanced from the lot lines as shown.
2. Facades shall be built along the principal frontage to the minimum specified width in the table.



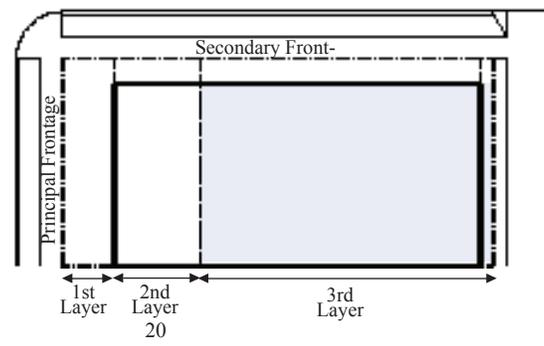
SETBACKS - OUTBUILDING

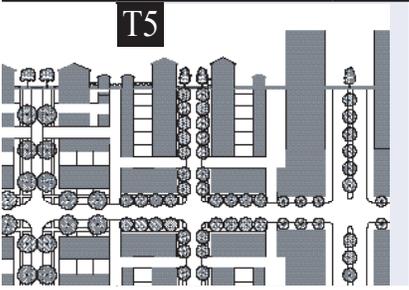
1. The elevations of the outbuilding shall be distanced from the lot lines as shown.



PARKING PLACE-MENT

1. Uncovered parking spaces may be provided within the 3rd layer as shown in the diagram.
2. Covered parking shall be provided within the 3rd layer as shown in the diagram.
3. Trash containers shall be stored within the 3rd layer.





BUILDING HEIGHT

| | |
|--------------------|-----------------------|
| Principal Building | 5 stories max. 2 min. |
| Outbuilding | 2 stories max. |

BUILDING LOCATION

| | |
|-----------|---------------|
| Edgeyard | not permitted |
| Sideyard | permitted |
| Rearyard | permitted |
| Courtyard | permitted |

SETBACKS - PRINCIPAL BUILDING

| | |
|-------------------------------|------------------------|
| (g.1) Front Setback Principal | 2 ft. min. 12 ft. max. |
| (g.2) Front Setback Secondary | 2 ft. min. 12 ft. max. |
| (g.3) Side Setback | 0 ft. min. 24 ft. max. |
| (g.4) Rear Setback | 3 ft. min.* |
| Frontage Buildout | 80% min at setback |

SETBACKS - OUTBUILDING

| | |
|---------------------|------------------------------|
| (h.1) Front Setback | 40 ft. max. from rear prop. |
| (h.2) Side Setback | 0 ft. min. or 2 ft at corner |
| (h.3) Rear Setback | 3 ft. max. |

PRIVATE FRONTAGES

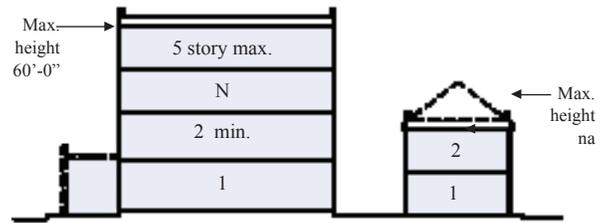
| | |
|--------------------|---------------|
| Common Lawn | not permitted |
| Porch & Fence | not permitted |
| Terrace or L.C. | permitted |
| Forecourt | permitted |
| Stoop | permitted |
| Shopfront & Awning | permitted |
| Gallery | permitted |
| Arcade | permitted |

*or 15 ft. from center line of alley

"N" stands for any stories above those shown, up to the maximum. refer to metrics for exact minimums and maximums

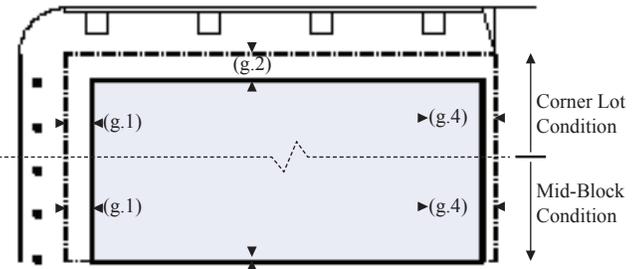
BUILDING HEIGHT

1. Building height shall be measured in number of feet, excluding Attics.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor commercial function which must be a minimum of 11 ft with a maximum of 25 ft.
3. Height shall be measured to the eave or roof deck.
4. Expression Lines shall be shown.



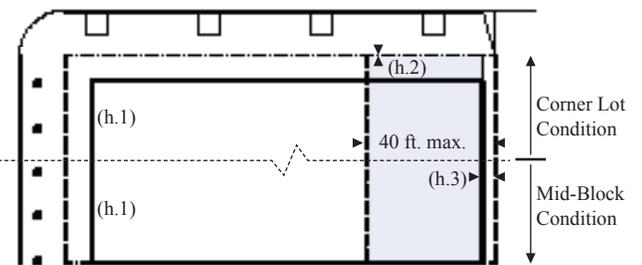
SETBACKS - PRINCIPAL BLDG

1. The facades and elevations of principal buildings shall be distanced from the lot lines as shown.
2. Facades shall be built along the principal frontage to the minimum specified width in the table.



SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.



PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the 3rd layer as shown in the diagram.
2. Covered parking shall be provided within the 3rd layer as shown in the diagram.
3. Trash containers shall be stored within the 3rd layer.

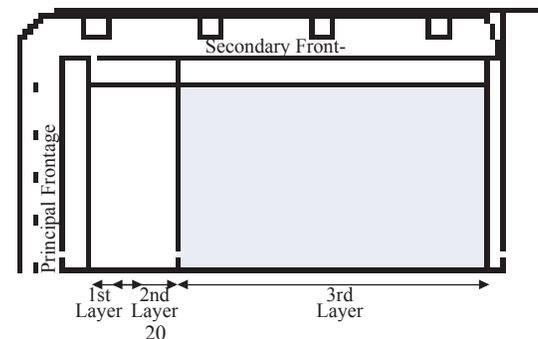


Table 3.5 Summary of Transect Zones

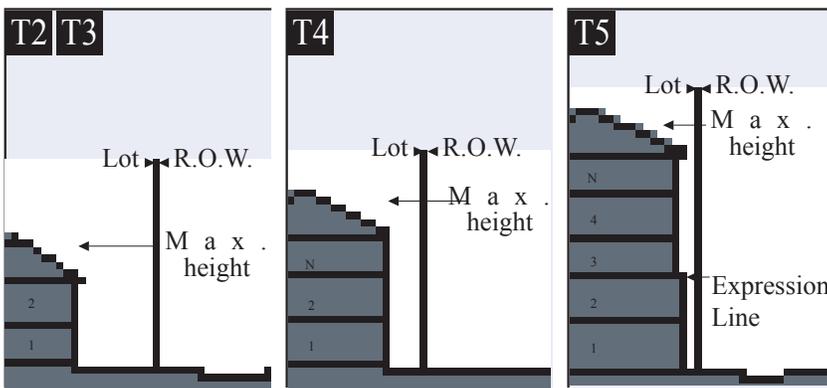
| | T1 | T2 | T3 & T3.5 | T4 | T5 |
|---------------------------------|---------------|---------------|--------------------------|-------------------------|--------------------------|
| RESIDENTIAL DENSITY | | | | | |
| Minimum | n/a | no minimum | no minimum | 4 du / ac. net | 15 du / ac. net |
| Maximum | by Amendment | by Amendment | 4 du / ac. net | 16 du / ac. net | 24 du / ac. net |
| BLOCK SIZE | | | | | |
| Block Perimeter | no maximum | no maximum | 3,000 ft. max. | 2,400 ft. max. | 2,000 ft. max. |
| THOROUGHFARES | | | | | |
| HW | permitted | permitted | permitted | not permitted | not permitted |
| BV | not permitted | not permitted | permitted | permitted | permitted |
| AV | not permitted | not permitted | permitted | permitted | permitted |
| CS | not permitted | not permitted | not permitted | not permitted | permitted |
| DR | not permitted | not permitted | permitted | permitted | permitted |
| ST | not permitted | not permitted | permitted | permitted | permitted |
| RD | permitted | permitted | permitted | not permitted | not permitted |
| Rear Lane | permitted | permitted | permitted | permitted | not permitted |
| Rear Alley | not permitted | not permitted | permitted | required | required |
| Path | permitted | permitted | permitted | permitted | not permitted |
| Passage | not permitted | not permitted | permitted | permitted | permitted |
| Bicycle Trail | permitted | permitted | permitted | | |
| Bicycle Lane | permitted | permitted | permitted | permitted | |
| Bicycle Route | permitted | permitted | permitted | permitted | permitted |
| CIVIC SPACE | | | | | |
| Park | permitted | permitted | permitted | permitted | permitted |
| Green | not permitted | not permitted | permitted | permitted | permitted |
| Square | not permitted | not permitted | not permitted | permitted | permitted |
| Plaza | not permitted | not permitted | not permitted | not permitted | permitted |
| Playground | permitted | permitted | permitted | permitted | permitted |
| LOT OCCUPATION | | | | | |
| Lot / Facade Width | n/a | | 72 ft min. / 120 ft max. | 18 ft min. / 96 ft max. | 18 ft min. / 180 ft max. |
| Building Coverage | 3% max. | 10% max. | 25% max. | 30% max. | 35% max. |
| Lot Coverage (total impervious) | 6% max. | 15% max. | 50% max. | 60% max. | 70% max. |
| Minimum Building Square | n/a | n/a | n/a | n/a | n/a |
| SETBACKS-PRINCIPAL BLDG. | | | | | |
| Front Setback - Principal | n/a | 48 ft min. | 24 ft min. | 6 ft min./18 ft max. | 0 ft min./12 ft max. |
| Front Setback - Secondary | n/a | 48 ft. min. | 12 ft min. | 6 ft min./18 ft max. | 0 ft min./12 ft max. |
| Side Setback | n/a | 96 ft min. | 12 ft min. | 0 ft min. | 0 ft min./24 ft max. |
| Rear Setback | n/a | 96 ft min. | 12 ft min. | 5 ft min. | 5 ft min. |
| Frontage Buildout | n/a | n/a | 40% min. | 60% min. | 80% min. |

Table 3.5 Summary of Transect Zones

| | T1 | T2 | T3 & T3.5 | T4 | T5 |
|------------------------------------------------|---------------|----------------------------------------------------|----------------------------------------------------|----------------------------------------------------|------------------------------------------------|
| SETBACKS - OUTBUILDINGS | | | | | |
| Front Setback | n/a | 20 ft min. + bldg setback | 20 ft min. + bldg setback | 24 ft min. + bldg setback | 40 ft min. + bldg setback |
| Side Setback | n/a | 3 ft or 6 ft | 3 ft or 6 ft | 0 ft min. or 3 ft | 0 ft min. |
| Rear Setback | n/a | 5 ft. min. | 5 ft. min. | 5 ft. min. | 5 ft. min. |
| BUILDING LOCATION | | | | | |
| Edgeyard | permitted | permitted | permitted | permitted | not permitted |
| Sideyard | not permitted | not permitted | not permitted | permitted | permitted |
| Rearyard | not permitted | not permitted | not permitted | permitted | permitted |
| Courtyard | not permitted | not permitted | not permitted | not permitted | permitted |
| PRIVATE FRONTAGES | | | | | |
| Common Yard | n/a | permitted | permitted | not permitted | not permitted |
| Porch & Fence | n/a | not permitted | permitted | permitted | not permitted |
| Terrace or Dooryard | n/a | not permitted | not permitted | permitted | permitted |
| Forecourt | n/a | not permitted | not permitted | permitted | permitted |
| Stoop | n/a | not permitted | not permitted | permitted | permitted |
| Shopfront & Awning | n/a | not permitted | not permitted | permitted | permitted |
| Gallery | n/a | not permitted | not permitted | permitted | permitted |
| Arcade | n/a | not permitted | not permitted | not permitted | permitted |
| BUILDING HEIGHT | | | | | |
| Principle Building (Also see Section 7.3.9) | n/a | 38'-0" max . 1 story min. 2-1/2 stories max. | 38'-0" max . 2 story min. 2-1/2 stories max. | 38'-0" max . 2-1/1 story min. 3 stories max. | 60'-0" max . 3 story min. 5 stories max. |
| Outbuilding | n/a | 20'-0" max. 1 story min. 2 stories max. | 20'-0" max. 1 story min. 2 stories max. | 20'-0" max. 2 story min. 2 stories max. | n/a |

BUILDING HEIGHT

Building Height. This table shows the configurations for different building heights for Transect Zones T3, T3.5, T4 & T5. Recess Lines and Expression Lines shall occur on higher buildings as shown. N = maximum height as specified in Table 4.5.



| |
|------|
| |
| |
| T3 |
| T3.5 |
| T4 |
| T5 |

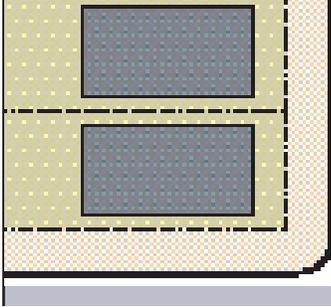
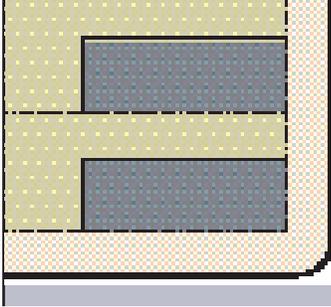
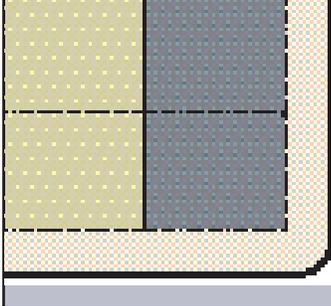
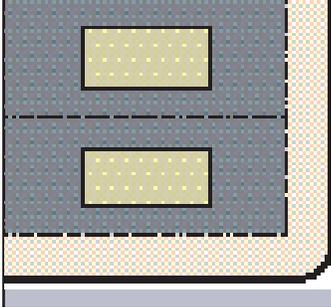
PRIVATE FRONTAGES

Private Frontages. The Private Frontage is the area between the building Facades and the Lot lines.

| | SECTION | | PLAN | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|------------------------|----------------------|------------------------|------------------|
| | LOT PRIVATE FRONTAGE | R.O.W. PUBLIC FRONTAGE | LOT PRIVATE FRONTAGE | R.O.W. PUBLIC FRONTAGE | |
| Common Yard: a planted Frontage wherein the Facade is set back substantially from the Frontage Line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep Setback provides a buffer from the higher speed Thoroughfares. | | | | | T2 T3 T3.5 |
| Porch & Fence: a planted Frontage wherein the Facade is set back from the Frontage Line with an attached porch permitted to Encroach. A fence at the Frontage Line maintains street spatial definition. Porches shall be no less than 8 feet deep. | | | | | T3 T3.5 T4 |
| Terrace or Lightwell: a Frontage wherein the Facade is set back from the Frontage line by an elevated terrace or a sunken Lightwell. This type buffers Residential use from urban Sidewalks and removes the private yard from public Encroachment. Terraces are suitable for conversion to outdoor cafes. Syn: Dooryard. | | | | | T4 T5 |
| Forecourt: a Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back. The Forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other Frontage types. Large trees within the Forecourts may overhang the Sidewalks. | | | | | T4 T5 |
| Stoop: a Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor Residential use. | | | | | T4 T5 |
| Shopfront: a Frontage wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade. This type is conventional for Retail use. It has a substantial glazing on the Sidewalk level and an awning that should overlap the Sidewalk to within 2 feet of the Curb. Syn: Retail Frontage. | | | | | T4 T5 |
| Gallery: a Frontage wherein the Facade is aligned close to the Frontage line with an attached cantilevered shed or a lightweight colonnade overlapping the Sidewalk. This type is conventional for Retail use. The Gallery shall be no less than 10 feet wide and should overlap the Sidewalk to within 2 feet of the Curb. | | | | | T4 T5 |
| Arcade: a colonnade supporting habitable space that overlaps the Sidewalk, while the Facade at Sidewalk level remains at or behind the Frontage Line. This type is conventional for Retail use. The Arcade shall be no less than 12 feet wide and should overlap the Sidewalk to within 2 feet of the Curb. See Table 8. | | | | | T5 |

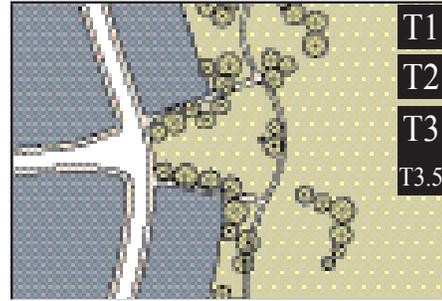
BUILDING LOCATION

Building Location. This table approximates the location of the structure relative to the boundaries of each individual Lot, establishing suitable basic building types for each Transect Zone.

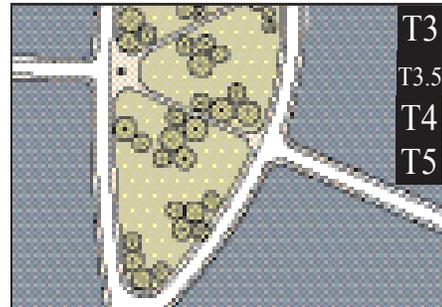
| | | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------|----------------------------------|
| <p>a. Edgeyard: Specific Types - single family House, cottage, villa, estate house, urban villa. A building that occupies the center of its Lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the Frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed Backbuilding and/or Outbuilding.</p> |  | <p>T2 T3 T3.5 T4</p> |
| <p>b. Sideyard: Specific Types - Charleston single house, double house, zero lot line house, twin. A building that occupies one side of the Lot with the Setback to the other side. A shallow Frontage Setback defines a more urban condition. If the adjacent building is similar with a blank side wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze. If a Sideyard House abuts a neighboring Sideyard House, the type is known as a twin or double House. Energy costs, and sometimes noise, are reduced by sharing a party wall in this Disposition.</p> |  | <p>T4 T5</p> |
| <p>c. Rearyard: Specific Types - Townhouse, Rowhouse, Live-Work unit, loft building, Apartment House, Mixed Use Block, Flex Building, perimeter Block. A building that occupies the full Frontage, leaving the rear of the Lot as the sole yard. This is a very urban type as the continuous Facade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. In its Residential form, this type is the Rowhouse. For its Commercial form, the rear yard can accommodate substantial parking.</p> |  | <p>T4 T5</p> |
| <p>d. Courtyard: Specific Types - patio House. A building that occupies the boundaries of its Lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, Lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas.</p> |  | <p>T5</p> |
| <p>e. Specialized: A building that is not subject to categorization. Buildings dedicated to manufacturing and transportation are often distorted by the trajectories of machinery. Civic buildings, which may express the aspirations of institutions, may be included.</p> |  | <p>SD</p> |

FORM-BASED CODE GRAPHICS - CIVIC SPACE

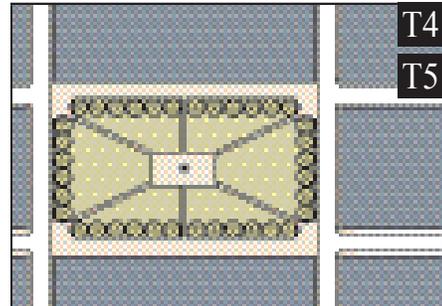
Park: A natural preserve available for unstructured recreation. A park may be independent of surrounding building frontages. Its landscape shall consist of Paths and trails, meadows, waterbodies, woodland and open shelters, all naturalistically disposed. Parks may be lineal, following the trajectories of natural corridors. The minimum size shall be 8 acres. Larger parks may be approved by Site



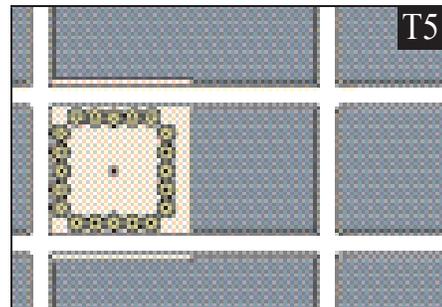
Green: An open space, available for unstructured recreation. A green may be spatially defined by landscaping and/or building frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be 1/2 acre and the maximum shall be 8 acres.



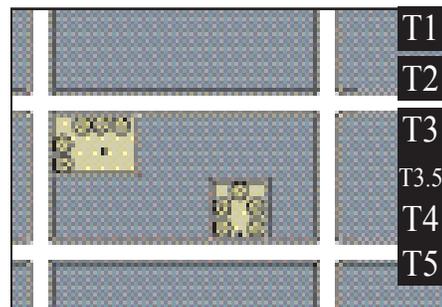
Square: An open space available for unstructured recreation and civic purposes. A square is spatially defined by building frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important thoroughfares. The minimum size shall be 1/2 acre and the maximum shall be 5 acres.



Plaza: An open space available for civic purposes and commercial activities. A plaza shall be spatially defined by building frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas **should** be located at the intersection of important streets. The minimum size shall be 1/2 acre and the maximum shall be 2 acres.



Playground: An open space designed and equipped for the recreation of children. A playground **should** be fenced and may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.



Section 3.9 SPECIAL DISTRICTS

The Commission shall designate areas as Special Districts that, by their intrinsic size, function, or configuration, cannot conform to the requirements of any Transect Zone or combination of zones. Conditions of development for new Special Districts shall be determined by amendment to these regulations and shall be consistent with the most recently adopted Plan of Conservation and Development as it may have been amended from time to time.

See TABLE 7.1

3.9.1 Manufacturing Zone

3.9.1.1 Purpose

The purpose of the Manufacturing Zone is to provide for a broad range of industrial and commercial uses in an open setting that will not have environmentally objectionable influences on adjoining residential and business zones.

| Table 3.6 Lot and Building Requirements for Manufacturing District | | | | | | | | |
|--------------------------------------------------------------------|---------------|-------------|---------------------|--------------------------|-----------|-----------------|----------------|----------------|
| Zone | Min. Lot Area | Max. Height | Max. % Lot Coverage | Max. % Imperious Surface | Lot Width | Max. Front Yard | Min. Side Yard | Min. Rear Yard |
| M | 20,000 sf | 40'-0" | 40% | 60% | 100 ft | 50 ft | 10 ft | 10 ft |

3.9.2 Newhall Center

3.9.2.1 Purpose

The purpose of the Newhall Center Zone is to improve the existing character of the area by:

- Making the neighborhood complete by allowing for a mix of uses for living, playing and learning;
- Providing for alternatives to the automobile by improving safe access within and through the neighborhood for drivers, bicyclists and pedestrians;
- Developing in harmony with natural systems by employing sustainable, green technologies and land-use practices;
- Raising the value of existing properties by combining remediation and re-development efforts;
- Meeting the housing needs of the neighborhood by including new housing to replace homes lost due to structural damage, as well as providing additional housing for families and elderly residents;
- Coordinating the environmental remedy and re-development of infrastructure;
- Honoring the spirit of the neighborhood by creating a sustainable village atmosphere;
- Locating parks, neighborhood amenities, aesthetic streetscapes, native habitat areas and community gardens that will enhance the quality of life for the area residents.

| Table 3.7 Lot and Building Requirements for Newhall Center District | | | | | | | | |
|---------------------------------------------------------------------|---------------|-------------|---------------------|--------------------------|-----------|-----------------|----------------|----------------|
| Zone | Min. Lot Area | Max. Height | Max. % Lot Coverage | Max. % Imperious Surface | Lot Width | Max. Front Yard | Min. Side Yard | Min. Rear Yard |
| NC | 10,000 sf | 35'-0" | 25% | 50% | 80 ft | 25 ft | 12 ft | 25 ft |

3.9.3 Town Green District

3.9.3.1 Purpose (616)

The Town Green District is a multi-use zone designed to allow for centrally located public and civic purposes and amenities that are accessible and beneficial to all residents of the community. The Zone allows for the following public and civic amenities:

- a. Open space land for a Town Center Park/Green to be used for passive recreation and community events;
- b. Multi-faceted athletic facilities for active recreation;
- c. Undisturbed areas of natural and scenic beauty;
- d. Bird and wildlife sanctuary areas;
- e. A Town public educational facility; and
- f. An area for arts, historic and visitor displays and instruction.

3.9.3.2 Special Standards

At least 80% of the Zone will be maintained as open space, park or recreation or wildlife and bird sanctuary use.

| Zone | Max. Height | Max. Front Yard ^a | Min. Side Yard | Min. Rear Yard |
|------|-------------|------------------------------|----------------|----------------|
| TG | 40'-0" | 6 ft min. / 18 ft max. | 50'-0" | 50'-0" |

^a Does not apply to public school facilities

3.9.3.3 Uses Permitted Subject to Site Plan Approval (617)

The following uses are permitted uses subject to site plan approval:

- a. Community events;
- b. Active recreational uses;
- c. Passive recreational uses;
- d. Walking and biking trails and paths;
- e. Historical structures, monuments, flag poles and public art;
- f. Museums;
- g. Wildlife and bird sanctuary; and
- h. Customary accessory uses.

3.9.3.4 Special Permit Uses

- a. Town Park
- b. Town Green
- c. Outdoor Cafe
- d. Public schools of the Town of Hamden are allowed subject to Special Permit approval and Site Plan review provided the following conditions are also met:
 - i. The building footprint and the parking area of the facility, taken together, will not exceed 20% of the Zone;
 - ii. The facility is served by public water and public sanitary sewers;
 - iii. The facility will have a front yard minimum setback of 100 feet from the street;
 - iv. The building will not exceed 40 feet in height; and

- v. The facility shall have a vehicular access, traffic and parking pattern including provision for student pick-up and drop-off by bus and parent so designed as to represent an effective access, traffic and parking pattern that properly addresses the needs of public safety.

3.9.3.5 Zoning Permit Uses

- a. Concerts and public festivals and events including firework displays and farmers market; and
- b. Arts, historic or visitor displays or instruction.
- c. Community Garden