

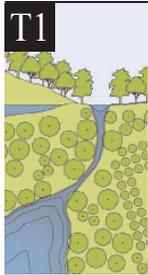
Section 300 PURPOSE

The purpose of this section is to enable and encourage the implementation of the following policies with the use of Transect Zones throughout the Town:

- Future development in neighborhoods and regional centers shall be compact, pedestrian-oriented and mixed-use;
- Ordinary activities of daily living should occur within walking distance of most dwellings, allowing independence to those who do not drive;
- Interconnected networks of streets should be designed to disperse traffic and reduce the length of automobile trips;
- Within neighborhoods, a range of housing types and price levels should be provided to accommodate diverse ages and incomes;
- Civic, institutional and commercial activity should be embedded in downtowns, not isolated in remote single-use complexes;
- Schools should be sized and located to enable children to walk or bicycle to them;
- A range of open space including parks, squares and playgrounds should be distributed between neighborhoods.

TRANSECT DESCRIPTIONS

T1



T-1 NATURAL

T-1 Natural Zone consists of lands approximating or reverting to a wilderness condition, including lands unsuitable for settlement due to topography, hydrology or vegetation.

- General Character:** Natural landscape with some agricultural use
- Building Placement:** Not applicable
- Frontage Types:** Not applicable
- Typical Building Height:** Not applicable
- Type of Civic Space:** Parks, Greenways

T2



T-2 RURAL

T-2 Rural Zone consists of sparsely settled lands in open or cultivated states. These include woodland, agricultural land, grassland, and irrigable desert. Typical buildings are farmhouses, agricultural buildings, cabins, and villas.

- General Character:** Primarily agricultural with woodland & wetland and scattered buildings
- Building Placement:** Variable setbacks
- Frontage Types:** Not applicable
- Typical Building Height:** 1- to 2-Story
- Type of Civic Space:** Parks, Greenways

T3

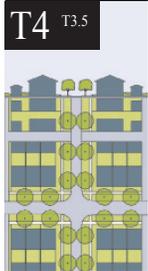


T-3 SUB-URBAN

T-3 Sub-Urban Zone consists of low density residential areas, adjacent to higher zones that some mixed use. Home occupations and outbuildings are allowed. Planting is naturalistic and setbacks are relatively deep. Blocks may be large and the roads irregular to accommodate natural conditions.

- General Character:** Lawns, and landscaped yards surrounding detached single-family houses; pedestrians occasionally
- Building Placement:** Large and variable front and side yard setbacks
- Frontage Types:** Porches, fences, naturalistic tree planting
- Typical Building Height:** 1- to 2-1/2 story with some 3-story
- Type of Civic Space:** Parks, Greenways

T4 ^{T3.5}

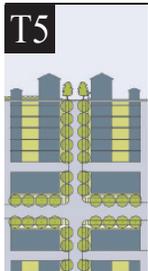


T3.5 & T-4 GENERAL URBAN

T3.5 & T-4 General Urban Zones consist of a mixed use but primarily residential urban fabric. They may have a wide range of building types: single, sideyard, & rowhouses. Setbacks & landscaping are variable. Streets with curbs and sidewalks define medium-sized blocks.

- General Character:** Mix of houses, townhouses & small apartment buildings, with scattered commercial activity; balance between landscape and buildings; presence of pedestrians
- Building Placement:** Shallow to medium front and side yard setbacks
- Frontage Types:** Porches, fences, dooryards
- Typical Building Height:** 2- to 3-story
- Type of Civic Space:** Squares, Greens

T5



T-5 URBAN CENTER

T-5 Urban Center Zone consists of higher density mixed use building that accommodate retail, offices, rowhouses and apartments. It has a tight network of streets, with wide sidewalks, steady street tree planting and buildings set close to the sidewalks.

- General Character:** Shops mixed with townhouses, larger apartment houses, offices, workplace, and civic buildings; predominantly attached buildings; trees within the public right-of-way; substantial pedestrian activity
- Building Placement:** Shallow setbacks or none; buildings oriented to the street defining a street wall
- Frontage Types:** Stoops, shopfronts, galleries
- Typical Building Height:** 3- to 5-story with some variation
- Type of Civic Space:** Parks, plazas and squares, median landscaping

Section 310 BUILDING LOCATION

Specific to zones T1, T2, T3, T3.5, T4, T5, M, TG, NC

- a. Buildings in the T1 Zone are not permitted *except for limited public use and utility purposes*.
- b. Newly platted lots shall be dimensioned according to **Table 3.4** and relevant transect tables.
- c. One principal building at the frontage, and one outbuilding to the rear of the principal building, may be built on each lot as provided for in these Regulations.
- d. Facades shall be built parallel to the street, as specified on **Table 3.4** and relevant transect tables. Setbacks for principal buildings shall be as shown in **Table 3.4** and relevant transect tables. In the case of an infill lot, setbacks shall match one of the existing adjacent setbacks.
- e. Rear setbacks for outbuildings shall be a minimum of 12 feet measured from the centerline of the Rear Alley or Rear Lane easement. In the absence of a rear alley or rear lane, the rear yard setback shall be 5 feet from the rear property line.

Section 320 BUILDING MASSING

320.1 General to zones T1, T2, T3, T3.5, T4, T5, M, TG, NC

- a. Buildings on corner lots shall have two private frontages. Requirements for the second and third layers pertain only to the principal frontage. Requirements for the first layer pertain to both frontages. (*See Definitions for Lot Line and Layers*).
- b. The first story of all facades shall be glazed with clear glass no less than 30% and shall be glazed at least 70% if a shopfront.
- c. Building heights and expression lines shall conform to **Table 3.4**.
- d. Stories may not exceed 14 feet in height from finished floor to finished ceiling, *except for a first floor commercial use, which shall be a minimum of 11 feet and may be a maximum of 25 feet*. A single floor level exceeding 14 feet shall be counted as two (2) stories. Mezzanines extending beyond 33% of the floor area below shall be counted as an additional story.
- e. In a parking structure or garage, each level counts as a single story regardless of its relationship to habitable stories.
- f. Height limits may be increased by 15 feet for non-habitable spaces such as masts, chimney flues, water tanks, or elevator bulkheads.
- g. A spire, tower or belfry on a religious institution or public building may exceed the height limitations of the underlying zone, but shall not:
 - i. Exceed the allowed height by more than 50 feet;
 - ii. Exceed 10% of the roof area.
- h. Building heights in T2, T3, T3.5 or T4 zones shall not exceed 35 feet and shall be measured in accordance with these Regulations (*See Article VIII Definition for Building Height*).
- i. Building heights in T5 zones shall not exceed 60 feet.
- j. All rooftop mechanical units shall be screened from view from the ground and adjacent buildings of equal or lower height.

320.2 Specific to zones T3, T3.5, M, TG, NC

- a. No portion of the private frontage may encroach on the sidewalk.
- b. Open porches may encroach on the first layer by 50% of its depth.
- c. Balconies and bay windows may encroach on the first layer by 25% of its depth.

320.3 Specific to zones T3.5, T4, M, TG, NC

- a. Balconies, open porches and bay windows may encroach on the first layer by 50% of its depth.

320.4 Specific to zones T5, M, TG, NC

- a. Awnings, arcades, and galleries may encroach on the sidewalk to within 2 feet of the curb but must clear the sidewalk vertically by at least 8 feet and shall not exceed 14 feet in height.
- b. Stoops, lightwells, balconies, bay windows, and terraces may encroach on the first layer 100% of its depth.
- c. Loading docks and service areas shall not be permitted in first layer.
- d. In the absence of a building facade along any part of a frontage line, a streetscreen shall be built in the same plane as the facade.
- e. Streetscreens should be between 3-1/2 and 4-1/2 feet in height. The streetscreen may be replaced by a hedge or fence. Streetscreens shall have openings no larger than necessary to allow for pedestrian and one-way automobile access.
- f. First floor residential or lodging use shall be raised a minimum of 2 feet from the average sidewalk grade.

Section 330 SPECIAL REQUIREMENTS T3.5, T4, T5, M, TG, NC

Unless otherwise approved by the Commission, the following special requirements in the Transect Zones or Special District listed above shall be required:

Shopfront: A shopfront facade shall be provided on average every 30' along the frontage. The shopfront shall be no less than 70% glazed in clear glass and shaded by an awning overlapping the sidewalk as generally illustrated in **Table of Private Frontages** and as specified in **Article III**. The first floor shall be confined to retail use for a minimum depth of 20 feet from the frontage line within the first story. Lobbies for hotels, offices and multiple family dwellings may be considered as part of the required retail frontage, provided that any such lobby occupies no more than 50% of said building.

The Commission may also require the following:

Gallery Frontage, Arcade Frontage, Terminated Vista Locations, Cross Block Passages or some combination of the above.

Section 340 BUILDING USE

See **TABLE 6.1**

340.1 Specific to zones T2, T3, T3.5, T4, T5, M, TG, NC

- a. Building uses in each Transect Zone shall conform to the uses on **Table 6.1**.
- b. Accessory uses of lodging or office shall be permitted within an outbuilding. *See* **Table 6.1**.

340.2 Specific to zones T5, M, TG, NC

- a. First story commercial uses shall be permitted.
- b. Light manufacturing uses within the first story may be permitted by Special Permit.

Section 350 DENSITY AND PARKING CALCULATIONS

350.1 Specific to zones T2, T3, T3.5, M, TG, NC

- a. Density on a lot shall be determined by the actual parking provided within the lot as applied to the uses permitted in **Table 6.1**.

350.2 Specific to zones T4, T5, M, TG, NC

- a. Maximum density on a parcel shall be determined by the availability of effective parking in conjunction

with Table 3.4 as it may apply. Such parking shall be provided:

- i. Within the lot;
 - ii. Along the parking lane corresponding to the lot frontage, or;
 - iii. By purchase or lease for 25 years from a parking lot within 300 feet;
 - iv. In a public parking garage or lot available within 300 feet of the property line.
- b. Parking requirements shall be adjusted according to the shared parking factor of Table 3.2 to determine the effective parking. The shared parking factor is available for any combination of uses within any pair of adjacent blocks.
 - c. Based on the effective parking available, the density of the projected use shall be determined according to Table 3.1 and Table 3.2.
 - d. At the discretion of the Commission, the effective parking may be further reduced by up to 30% within a Transit-Oriented Development (TOD).
 - e. Liner buildings that are less than 30 feet deep and no more than two stories shall be exempt from parking requirements.

350.3 Specific to zones T2, T3, T3.5, T4, T5, M, TG, NC

Parking calculations: Table 3.1 summarizes the parking requirement for each use by Transect Zone. This table also enables the calculation of allowable building square footage and the number of dwelling units allowed on each site given the parking available. To use the shared parking factor, divide the number of required parking spaces by the sharing factor to find the actual number of spaces required.

Table 3.1 Required Parking in Transect Zones (See Table 5.5 for how uses are categorized by function)			
	T2 & T3, T3.5	T4	T5
Residential	2.0 / dwelling unit	1.5 / dwelling unit	1.0 / dwelling unit
Lodging	1.0 / dwelling unit	1.0 / dwelling unit	1.0 / dwelling unit
Office	3.0 / 1,000 sq. ft. gross leasable space	3.0 / 1,000 sq. ft.	2.0 / 1,000 sq. ft.
Medical Office	5.0 / 1,000 sq. ft. gross leasable space	4.0 / 1,000 sq. ft.	4.0 / 1,000 sq. ft.
Retail	4.0 / 1,000 sq. ft. gross leasable space	4.0 / 1,000 sq. ft.	3.0 / 1,000 sq. ft.
Civic	To be determined by the Commission ^a		
Other	To be determined by the Commission ^a		

^a The Commission may use **Table 5.4** as a guide when determining required parking

Example: T-4 Zone, Mixed-use building with 10,000 sf of office and 20 dwelling units.

Office:

10,000 sf x 3 spaces / 1,000 sf
= 30 spaces

Residential:

20 dwelling units x 1.5 spaces / dwelling
= 30 spaces

Sub-Total:

30 spaces + 30 spaces
= 60 required spaces

TOTAL:

60 required spaces / 1.4 sharing factor
= 43 actual spaces

Bicycle Parking Stalls:

43 actual spaces x 1 stall / 10 actual spaces

Sub-total = 4.3 bicycle stalls (always round up)

TOTAL = 5 bicycle stalls

Projects meeting the requirements of a Transit Oriented Development:

43 actual spaces x 30% reduction factor

= 13 actual spaces

+ 5.0 bicycle stalls

Table 3.2 Shared Parking Factor

SHARED PARKING FACTOR

Function	with	Function
RESIDENTIAL		RESIDENTIAL
LODGING		LODGING
OFFICE		OFFICE
RETAIL		RETAIL

		1		
	1.1		1.1	
	1.4	1	1.4	
1.2	1.7	1.7	1.2	
	1.3	1	1.3	
	1.2		1.2	
		1		

When three functions share parking, the lowest Shared Parking Factor shall be used to assure that there is enough parking.

Section 360 PARKING LOCATION and PRIVATE ROADWAY STANDARDS

360.1 Specific to zones T2, T3, T3.5, T4, T5, M, TG, NC

- a. Where possible, parking shall be accessed by rear alleys or rear lanes.
- b. Surface parking lots shall be masked from the frontage by a building or streetscreen.

360.2 Specific to zones T2, T3, M, TG, NC

- a. Surface parking lots shall be located in the second and third lot layers. However, driveways, drop-offs and unpaved parking areas may be located in the first lot layer and shall be limited to five spaces. These five spaces may be used for temporary parking only.
- b. Garages shall be located in the third layer. However, side- or rear-entry garages may be allowed in the first or second layer by Special Permit.

360.3 Specific to zones T3, T3.5, T4, M, TG, NC

- a. Driveways at frontages of single-family residential uses shall be no wider than 12 feet in the first layer.
- b. Driveways at frontages of mixed-use and/or non-residential uses shall be no wider than 18 feet in the first layer.

360.4 Specific to zones T3.5, T4, M, TG, NC

- a. All parking areas and garages shall be located in the third layer.

- b. A minimum of one bicycle rack place shall be provided within the public or private frontage for every ten actual vehicular parking spaces.

360.5 Specific to zones T5, M, TG, NC

- a. All parking lots, garages, and parking structures shall be located in the third layer.
 b. Vehicular entrances and exits to parking lots, garages, and parking structures shall be no wider than 18 feet at the frontage.
 c. Pedestrian exits from all parking lots, garages, and parking structures shall be directly to a frontage line (i.e., not directly into a building) *except on underground levels that may be exited by pedestrians directly into a building.*
 d. A minimum of one bicycle rack place shall be provided within the public or private frontage for every ten actual vehicular parking spaces.

Table 3.3 Private Roadway Summary for Transect Zones							
Design Speed	Travel Lane Width	T1	T2	T3	T3.5	T4	T5
Below 20 mph	8 feet	•	•	•	•	•	•
20-25 mph	9 feet	•	•	•	•	•	•
25-35 mph	10 feet	•	•	•	•	•	•
25-35 mph	11 feet	•	•				•
Above 35 mph	12 feet	•	•				•
Design Speed	Parking Lane Width						
20-25 mph	(Angle) 18 ft						•
20-25 mph	(Parallel) 7 ft					•	
25-35 mph	(Parallel) 8 ft			•	•	•	•
Above 35 mph	(Parallel) 9 ft						•
Design Speed	Effective Turning Radius						
Below 20 mph	5-10 ft			•	•	•	•
20-25 mph	10-15 ft	•	•	•	•	•	•
25-35 mph	15-20 ft	•	•	•	•	•	•
Above 35 mph	20-30 ft	•	•				•

• Allowed

Section 370 LANDSCAPE STANDARDS

370.1 Specific to zones T2, T3, T3.5, T4, M, TG, NC

The first layer may not be paved, *except for sidewalks and driveways as specified in Section 360.*

370.2 Specific to zones T3, T3.5, M, TG, NC

- a. A minimum of two trees shall be planted within the first layer for each 30 feet of frontage line or portion thereof.
 b. Trees may be of single or multiple species as shown on **Table 5.1.**
 c. Trees shall be naturalistically clustered.

370.3 Specific to zones T3, T3.5, T4, M, NC

- a. A minimum of one tree shall be planted within the first layer for each 30 feet of frontage line or portion

thereof.

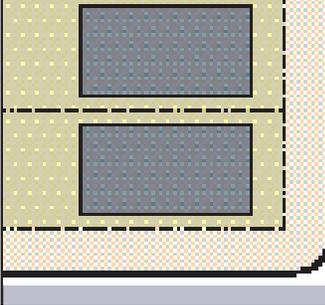
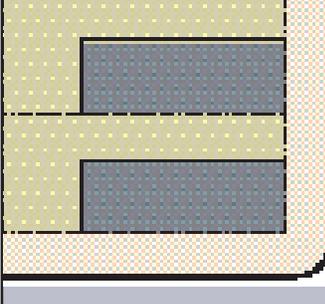
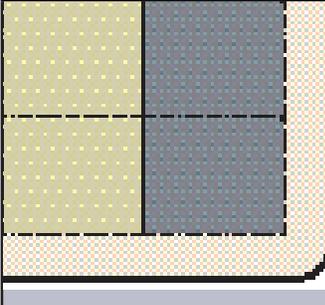
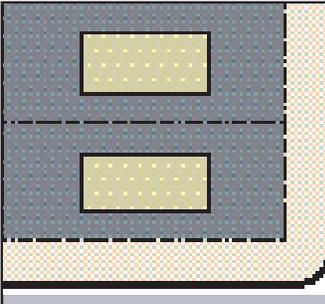
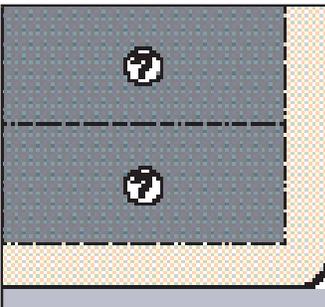
- b. Trees shall be a single species to match the species of street trees on the public frontage, or as shown on **Table 5.1**.

370.4 Specific to zones T5

- a. Trees shall not be required in the first layer.
- b. The first layer may be paved to match the pavement of the public frontage.

BUILDING LOCATION

Building Location. This table approximates the location of the structure relative to the boundaries of each individual Lot, establishing suitable basic building types for each Transect Zone.

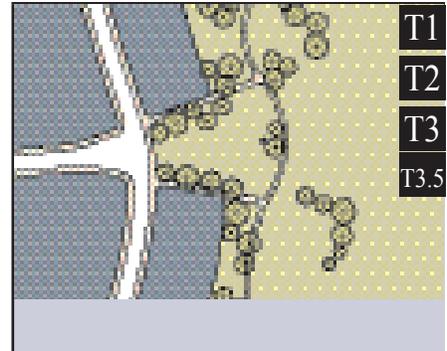
<p>a. Edgeyard: Specific Types - single family House, cottage, villa, estate house, urban villa. A building that occupies the center of its Lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the Frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed Backbuilding and/or Outbuilding.</p>		<p>T2 T3 T3.5 T4</p>
<p>b. Sideyard: Specific Types - Charleston single house, double house, zero lot line house, twin. A building that occupies one side of the Lot with the Setback to the other side. A shallow Frontage Setback defines a more urban condition. If the adjacent building is similar with a blank side wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze. If a Sideyard House abuts a neighboring Sideyard House, the type is known as a twin or double House. Energy costs, and sometimes noise, are reduced by sharing a party wall in this disposition.</p>		<p>T4 T5</p>
<p>c. Rearyard: Specific Types - Townhouse, Rowhouse, Live-Work unit, loft building, Apartment House, Mixed Use Block, Flex Building, perimeter Block. A building that occupies the full Frontage, leaving the rear of the Lot as the sole yard. This is a very urban type as the continuous Facade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. In its Residential form, this type is the Rowhouse. For its Commercial form, the rear yard can accommodate substantial parking.</p>		<p>T4 T5</p>
<p>d. Courtyard: Specific Types - patio House. A building that occupies the boundaries of its Lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas.</p>		<p>T5</p>
<p>e. Specialized: A building that is not subject to categorization. Buildings dedicated to manufacturing and transportation are often distorted by the trajectories of machinery. Civic buildings, which may express the aspirations of institutions, may be included.</p>		<p>SD</p>

PRIVATE FRONTAGES

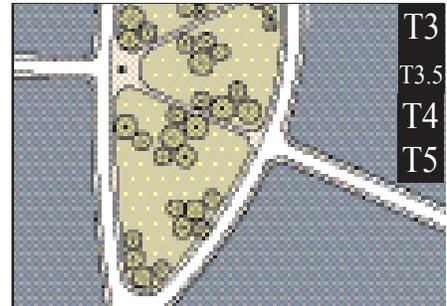
Private Frontages. The Private Frontage is the area between the building Facades and the Lot lines.

	SECTION		PLAN		
	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	
<p>Common Yard: A planted frontage wherein the facade is set back substantially from the frontage line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep setback provides a buffer from the higher speed thoroughfares.</p>					T2 T3 T3.5
<p>Porch & Fence: A planted frontage wherein the facade is set back from the frontage line with an attached porch permitted to encroach. A fence at the frontage line maintains street spatial definition. Porches shall be no less than 8 feet deep.</p>					T3 T3.5 T4
<p>Terrace or Lightwell: A frontage wherein the facade is set back from the frontage line by an elevated terrace or a sunken lightwell. This type buffers residential use from urban sidewalks and removes the private yard from public encroachment. Terraces are suitable for conversion to outdoor cafes. Syn: Dooryard.</p>					T4 T5
<p>Forecourt: A Frontage wherein a portion of the facade is close to the frontage line and the central portion is set back. The forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other frontage types. Large trees within the forecourts may overhang the sidewalks.</p>					T4 T5
<p>Stoop: A frontage wherein the facade is aligned close to the frontage line with the first story elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor residential use.</p>					T3.5 T4 T5
<p>Shopfront: A frontage wherein the facade is aligned close to the frontage line with the building entrance at sidewalk grade. This type is conventional for retail use. It has a substantial glazing on the sidewalk level and an awning that should overlap the sidewalk to within 2 feet of the curb. Syn: Retail Frontage.</p>					T3.5 T4 T5
<p>Gallery: A frontage wherein the facade is aligned close to the frontage line with an attached cantilevered shed or a lightweight colonnade overlapping the sidewalk. This type is conventional for retail use. The gallery shall be no less than 10 feet wide and should overlap the sidewalk to within 2 feet of the curb.</p>					T4 T5
<p>Arcade: A colonnade supporting habitable space that overlaps the sidewalk, while the facade at sidewalk level remains at or behind the frontage line. This type is conventional for retail use. The arcade shall be no less than 12 feet wide and should overlap the sidewalk to within 2 feet of the curb.</p>					T5

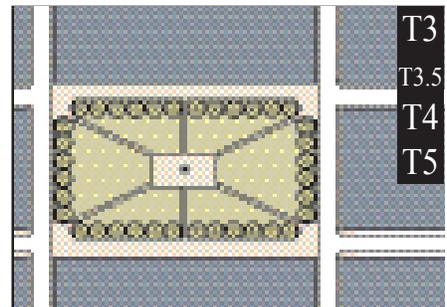
Park: A natural preserve available for unstructured recreation. A park may be independent of surrounding building frontages. Its landscape shall consist of Paths and trails, meadows, waterbodies, woodland and open shelters, all naturalistically disposed. Parks may be linear, following the trajectories of natural corridors. The minimum size shall be 8 acres. Larger parks may be approved by Site Plan and Special Permit.



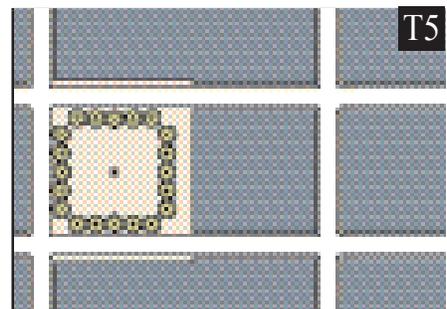
Green: An open space, available for unstructured recreation. A green may be spatially defined by landscaping and/or building frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be 1/2 acre and the maximum shall be 8 acres.



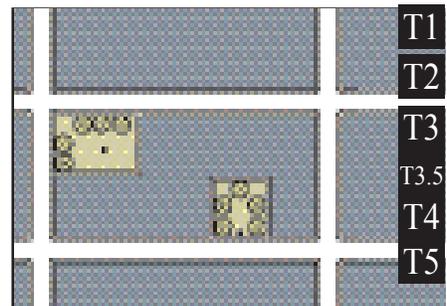
Square: An open space available for unstructured recreation and civic purposes. A square is spatially defined by building frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important thoroughfares. The minimum size shall be 1/2 acre and the maximum shall be 5 acres.



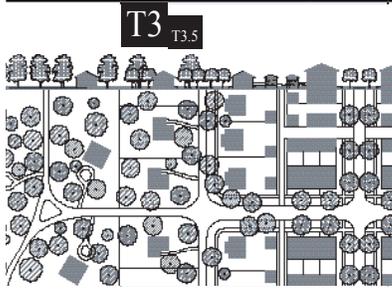
Plaza: An open space available for civic purposes and commercial activities. A plaza shall be spatially defined by building frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas **should** be located at the intersection of important streets. The minimum size shall be 1/2 acre and the maximum shall be 2 acres.



Playground: An open space designed and equipped for the recreation of children. A playground **should** be fenced and may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.

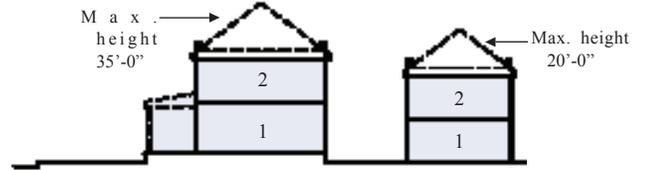


FORM-BASED CODE GRAPHICS - T3 & T3.5



BUILDING HEIGHT

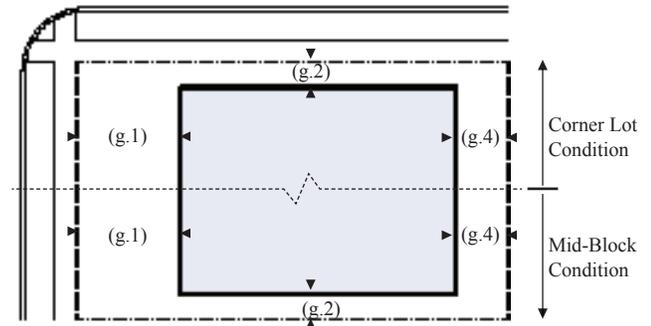
1. Building height shall be measured in number of feet.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, *except for a first floor commercial function which must be a minimum of 11 ft with a maximum of 25 feet.*



BUILDING HEIGHT	
Principal Building	35'-0" max.
Outbuilding	20'-0" max.

SETBACKS - PRINCIPAL BLDG

1. The facades and elevations of principal buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the principal frontage to the minimum specified width in the table.



BUILDING LOCATION: SEE TABLE 3.5

SETBACKS - PRINCIPAL BUILDING

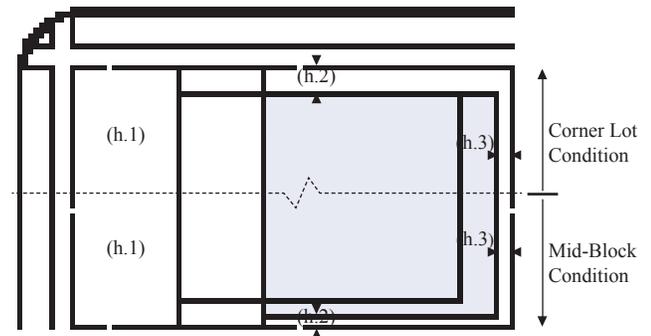
(g.1) Front Setback Principal	24 ft. min
(g.2) Front Setback Secondary	12 ft min.
(g.3) Side Setback	12 ft min.
(g.4) Rear Setback	24 ft min.
Frontage Buildout	40% min at front lot line

SETBACKS - OUTBUILDING

(h.1) Front Setback	20 ft. min. + bldg setback
(h.2) Side Setback	3 ft.
(h.3) Rear Setback*	3 ft. min*

SETBACKS-OUTBUILDING

1. The elevation of the outbuilding shall be distanced from the lot lines as shown.



PRIVATE FRONTAGES : SEE TABLE 3.5

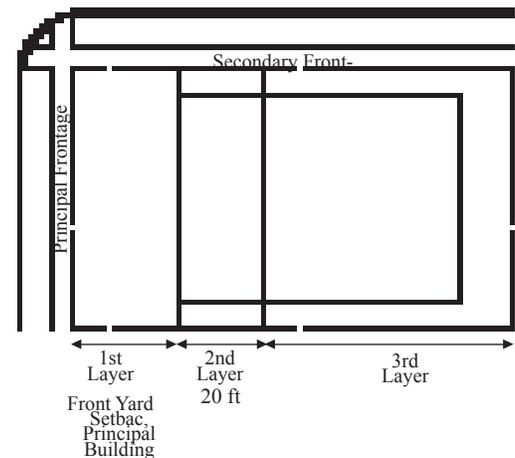
*or 15 ft. from center line of alley

PARKING PLACEMENT

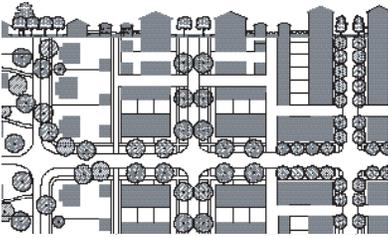
Covered and uncovered parking spaces may be provided within the second and third layer as shown in the diagram

TRASH PLACEMENT

Trash containers shall be stored within the 3rd layer. (See also Section 520.7.1)



T4



BUILDING HEIGHT

Principal Building	2 stories min / 35' max
Outbuilding	20'-0" max.

BUILDING LOCATION

Edgeward	permitted
Sideward	permitted
Rearward	permitted
Courtyard	not permitted

SETBACKS - PRINCIPAL BUILDING

(g1) Front Setback Principal	6 ft. min. 18 ft. max
(g2) Front Setback Secondary	6 ft. min. 18 ft. max
(g3) Side Setback	10 ft. min.
(g4) Rear Setback	15 ft. min.*
Frontage Buildout	60% min at setback

SETBACKS - OUTBUILDING

(h1) Front Setback	20 ft. min. + bldg. setback
(h2) Side Setback	3 ft. at corner
(h3) Rear Setback	3 ft. min

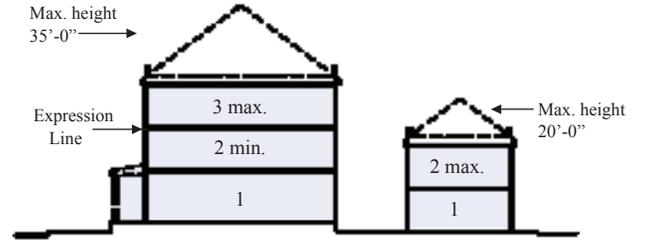
PRIVATE FRONTAGES

Common Lawn	not permitted
Porch & Fence	permitted
Terrace or L.C.	permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	permitted
Arcade	not permitted

*or 15 ft. from center line of alley
 "N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums

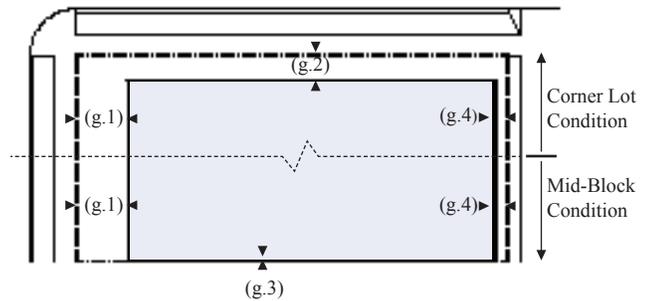
BUILDING HEIGHT

1. Building height shall be measured in number of feet.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, *except for a first floor Commercial function which must be a minimum of 11 ft with a maximum of 25 ft.*
3. Buildings shall have an Expression Line on the exterior facade at the top of the 2nd story level.



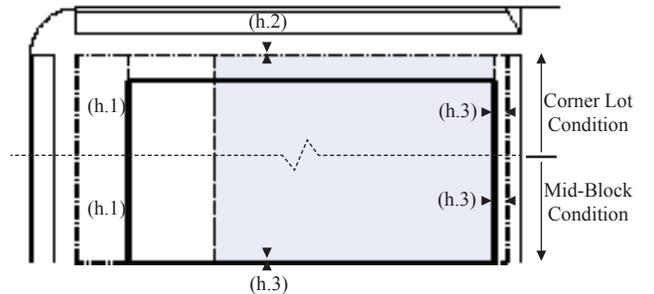
SETBACKS - PRINCIPAL BLDG

1. The facades and elevations of principal buildings shall be distanced from the lot lines as shown.
2. Facades shall be built along the principal frontage to the minimum specified width in the table.



SETBACKS - OUTBUILDING

1. The elevations of the outbuilding shall be distanced from the lot lines as shown.

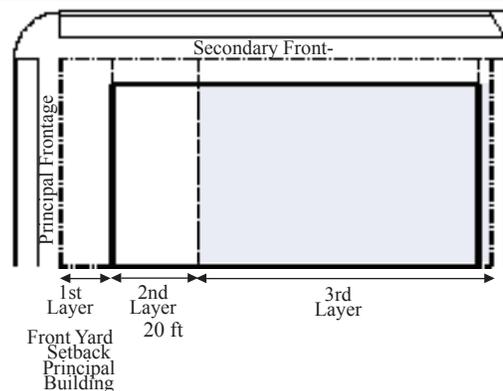


PARKING PLACEMENT

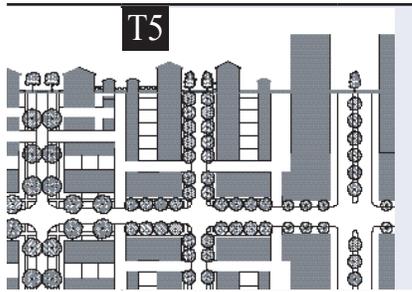
Covered and uncovered parking spaces may be provided within the 3rd layer.

TRASH PLACEMENT

Trash containers shall be stored within the 3rd layer. (See also Section 520.7.1)



FORM-BASED CODE GRAPHICS - T5



BUILDING HEIGHT

Principal Building	5 stories max / 2 min
Outbuilding	2 stories max.

BUILDING LOCATION

Edgeyard	not permitted
Sideyard	permitted
Rearyard	permitted
Courtyard	permitted

SETBACKS - PRINCIPAL BUILDING

(g.1) Front Setback Principal	2 ft. min. 12 ft. max.
(g.2) Front Setback Secondary	2 ft. min. 12 ft. max.
(g.3) Side Setback	0 ft. min. 24 ft. max.
(g.4) Rear Setback	3 ft. min.*
Frontage Buildout	80% min at setback

SETBACKS - OUTBUILDING

(h.1) Front Setback	40 ft. max. from rear prop.
(h.2) Side Setback	0 ft. min. or 2 ft at corner
(h.3) Rear Setback	3 ft. max.

PRIVATE FRONTAGES

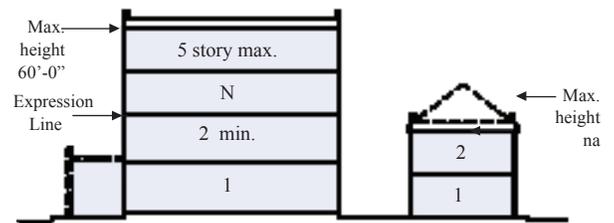
Common Lawn	not permitted
Porch & Fence	not permitted
Terrace or L.C.	permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	permitted
Arcade	permitted

*or 15 ft. from center line of alley

"N" stands for any stories above those shown, up to the maximum. refer to metrics for exact minimums and maximums

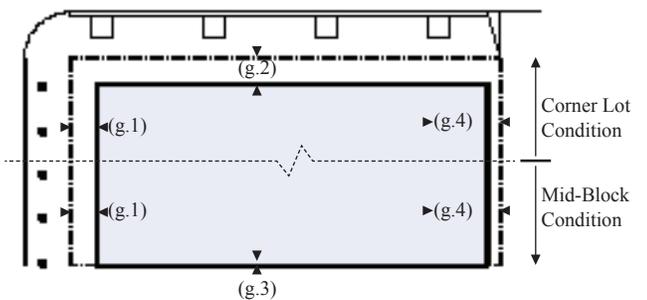
BUILDING HEIGHT

1. Building height shall be measured in number of feet.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, *except for a first floor commercial function which must be a minimum of 11 ft with a maximum of 25 ft.*
3. Buildings shall have an Expression Line on the exterior facade at the top of the 2nd story level.



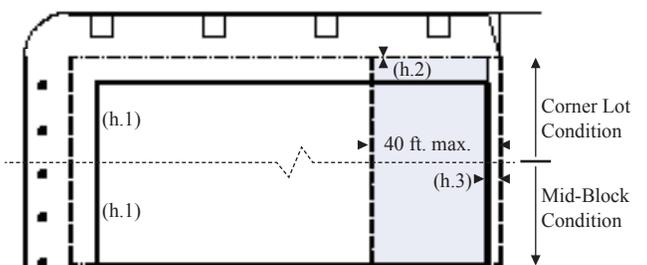
SETBACKS - PRINCIPAL BLDG

1. The facades and elevations of principal buildings shall be distanced from the lot lines as shown.
2. Facades shall be built along the principal frontage to the minimum specified width in the table.



SETBACKS - OUTBUILDING

1. The outbuilding, relative to the property lines, shall be located as shown.



PARKING PLACEMENT

Covered and uncovered parking spaces may be provided within the 3rd layer as shown in the diagram.

TRASH PLACEMENT

Trash containers shall be stored within the 3rd layer. (See also Section 520.7.1)

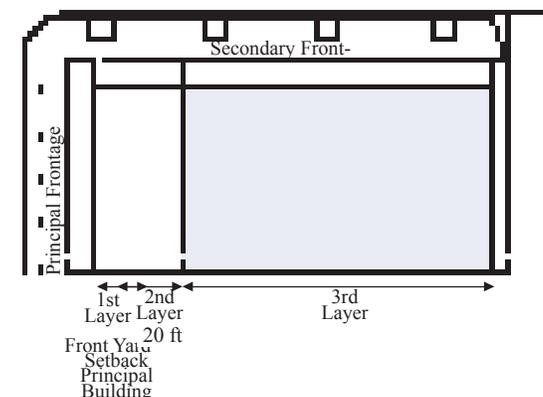


Table 3.4 Summary of Transect Zones

	T1	T2	T3 & T3.5	T4	T5
RESIDENTIAL DENSITY					
Minimum	n/a	no minimum	no minimum	4 du / ac. net	15 du / ac. net
Maximum	n/a	1 du /10 ac. net	4 du / ac. net	16 du / ac. net	24 du / ac. net
BLOCK SIZE					
Block Perimeter	no maximum	no maximum	3,000 ft. max.	2,400 ft. max.	2,000 ft. max.
CIVIC SPACE					
Park	required where development is 20 or more acres gross	required where development is 20 or more acres gross	required where development is 20 or more acres gross	required where development is 20 or more acres gross	required where development is 20 or more acres gross
Green	not permitted	not permitted	required where development is 15 or more acres gross	required where development is 15 or more acres gross	required where development is 15 or more acres gross
Square	not permitted	not permitted	required where development is 10 or more acres gross	required where development is 10 or more acres gross	required where development is 10 or more acres gross
Plaza	not permitted	not permitted	not permitted	not permitted	required where development is 5 or more acres gross
Playground	required where development is 5 or more acres gross	required where development is 5 or more acres gross	required where development is 5 or more acres gross	required where development is 5 or more acres gross	required where development is 5 or more acres gross
BUILDING MASSING					
Lot Width	n/a	120 ft min.	120 ft max.	100 ft max.	180 ft max.
Building Coverage	3% max.	15% max.	25% max.	40% max.	60% max.
Lot Coverage (total impervious)	6% max.	20% max.	35% max.	80% max.	80% max.
Expression Line Height	n/a	n/a	24'-0"	24'-0"	24'-0"
SETBACKS-PRINCIPAL BLDG.					
Front Setback - Principal	n/a	48 ft min.	24 ft min.	6 ft min./18 ft max.	0 ft min./12 ft max.
Front Setback - Secondary	n/a	48 ft. min.	12 ft min.	6 ft min./18 ft max.	0 ft min./12 ft max.
Side Setback	n/a	20 ft min.	12 ft min.	0 ft min.	0 ft min./24 ft max.
Rear Setback	n/a	40 ft min.	12 ft min.	5 ft min.	5 ft min.
Frontage Buildout	n/a	n/a	40% min.	60% min.	80% min.
SETBACKS - OUTBUILDINGS					
Front Setback	n/a	20 ft min. + bldg setback	20 ft min. + bldg setback	24 ft min. + bldg setback	40 ft min. + bldg setback
Side Setback	n/a	3 ft	3 ft	3 ft	0 ft min.
Rear Setback	n/a	5 ft. min.	5 ft. min.	5 ft. min.	5 ft. min.
BUILDING LOCATION					
Edgeward	permitted	permitted	permitted	permitted	not permitted
Sideward	not permitted	not permitted	not permitted	permitted	permitted

Table 3.4 Summary of Transect Zones

	T1	T2	T3 & T3.5	T4	T5
Rearyard	not permitted	not permitted	not permitted	permitted	permitted
Courtyard	not permitted	not permitted	not permitted	not permitted	permitted
PRIVATE FRONTAGES					
Common Yard	n/a	permitted	permitted	not permitted	not permitted
Porch & Fence	n/a	not permitted	permitted	permitted	not permitted
Terrace or Dooryard	n/a	not permitted	not permitted	permitted	permitted
Forecourt	n/a	not permitted	not permitted	permitted	permitted
Stoop	n/a	not permitted	not permitted	permitted	permitted
Shopfront & Awning	n/a	not permitted	not permitted	permitted	permitted
Gallery	n/a	not permitted	not permitted	permitted	permitted
Arcade	n/a	not permitted	not permitted	not permitted	permitted
BUILDING HEIGHT					
Principle Building (Also see Section 530.4)	n/a	35'-0" max	35'-0" max	35'-0" max	60'-0" max
Outbuilding	n/a	20'-0" max. 1 story min. 2 stories max.	20'-0" max. 1 story min. 2 stories max.	20'-0" max. 2 story min. 2 stories max.	20'-0" max. 2 story min. 2 stories max.

Section 380 SPECIAL DISTRICTS

See TABLE 6.1 for allowed uses.

The Commission shall designate areas as Special Districts that, by their intrinsic size, function, or configuration, cannot conform to the requirements of any Transect Zone or combination of zones. Conditions of development for new Special Districts shall be determined by amendment to these regulations and shall be consistent with the most recently adopted Plan of Conservation and Development as it may have been amended from time to time.

380.1 Manufacturing Zone

Purpose

The purpose of the Manufacturing Zone is to provide for a broad range of industrial and commercial uses in an open setting that will not have environmentally objectionable influences on adjoining residential and business zones.

Table 3.5 Lot and Building Requirements for Manufacturing District

Zone	Min. Lot Area	Max. Height	Max. % Building Coverage	Max. % Impervious Surface	Lot Width	Frontage Buildout	Front Yard Setback	Side Yard Setback	Rear Yard Setback
M	20,000 sf	40'-0"	40%	60%	100 ft	80% min.	25 ft max.	10 ft min.	25 ft min.

If a building is set back from the front lot line by 25 feet or more, there shall be:

- a. A landscaped area at least 10 feet wide abutting the front of the building; and,
- b. A landscaped strip of not less than 5 feet wide along and contiguous to the front lot line of the property, or;
- c. An equal amount of landscaped area acceptable to the Commission in another location on the site.

380.2 Newhall Center

380.2.1 Purpose

The purpose of the Newhall Center Zone is to improve the existing character of the area by:

- a. Making the neighborhood complete by allowing for a mix of uses for living, playing and learning;
- b. Providing for alternatives to the automobile by improving safe access within and through the neighborhood for drivers, bicyclists and pedestrians;
- c. Developing in harmony with natural systems by employing sustainable, green technologies and land-use practices;
- d. Raising the value of existing properties by combining remediation and redevelopment efforts;
- e. Meeting the housing needs of the neighborhood by including new housing to replace homes lost due to structural damage, as well as providing additional housing for families and elderly residents;
- f. Coordinating the environmental remedy and redevelopment of infrastructure;
- g. Honoring the spirit of the neighborhood by creating a sustainable village atmosphere;
- h. Locating parks, neighborhood amenities, aesthetic streetscapes, native habitat areas and community gardens that will enhance the quality of life for the area residents.

Table 3.6 Lot and Building Requirements for Newhall Center District

Zone	Min. Lot Area	Max. Height	Max. % Building Coverage	Max. % Impervious Surface	Lot Width	Front Yard	Side Yard	Rear Yard
NC	10,000 sf	35'-0"	25%	50%	80 ft	6 ft min. 25 ft max.	12 ft min.	25 ft min.

380.3 Town Green District

380.3.1 Purpose

The Town Green District is a multi-use zone designed to allow for centrally located public and civic purposes and amenities that are accessible and beneficial to all residents of the community.

The Zone allows for the following public and civic amenities:

- a. Open space land for a Town Center Park/Green to be used for passive recreation and community events;
- b. Multi-faceted athletic facilities for active recreation;
- c. Undisturbed areas of natural and scenic beauty;
- d. Bird and wildlife sanctuary areas;
- e. A Town public educational facility; and
- f. An area for arts, historic and visitor displays and instruction.

380.3.2 Special Standards

At least 80% of the Zone will be maintained as open space, park or recreation or wildlife and bird sanctuary use.

Zone	Max. Height	Front Yard ^a	Min. Side Yard	Min. Rear Yard
TG	40'-0"	50 ft min	50'-0"	50'-0"

^a Public school shall have a front yard minimum setback of 100 feet.

380.3.3 Uses Permitted Subject to Site Plan Approval

The following uses are permitted uses subject to site plan approval:

- a. Community events, Active recreational uses;
- b. Passive recreational uses;
- c. Walking and biking trails and paths;
- d. Historical structures, monuments, flag poles and public art;
- e. Wildlife and bird sanctuary; and
- f. Customary accessory uses.

380.3.4 Special Permit Uses

- a. Town Park
- b. Town Green
- c. Museum
- d. Outdoor Cafe
- e. Public schools of the Town of Hamden are allowed subject to Special Permit approval and Site Plan review provided the following conditions are also met:
 - i. The building footprint and the parking area of the facility, taken together, will not exceed 20% of the Zone;
 - ii. The facility is served by public water and public sanitary sewers;
 - iii. The facility will have a front yard minimum setback of 100 feet from the street;
 - iv. The building will not exceed 40 feet in height; and
 - v. The facility shall have a vehicular access, traffic and parking pattern including provision for student pick-up and drop-off by bus and parent so designed as to represent an effective access, traffic and parking pattern that properly addresses the needs of public safety.

380.3.5 Zoning Permit Uses

- a. Concerts and public festivals and events, including firework displays and farmers market; and
- b. Arts, historic or visitor displays or instruction.
- c. Community Garden

